

- GENERAL NOTES
- THIS/ THESE PLANS/ IS/ ARE NOT TO BE USED FOR CONSTRUCTION UNTIL SEALED BY THE ENGINEER AND INDICATED ISSUED FOR CONSTRUCTION ON THE DRAWING.
 - THIS/ THESE PLANS/ IS/ ARE NOT TO BE REPRODUCED IN WHOLE OR IN PART WITHOUT THE WRITTEN PERMISSION OF BARICH GRENKIE SURVEYING LIMITED.
 - INFORMATION REGARDING ANY EXISTING SERVICES AND/OR UTILITIES SHOWN ON THE APPROVED SET OF CONSTRUCTION DRAWINGS ARE FURNISHED AS THE BEST AVAILABLE INFORMATION. THE CONTRACTOR SHALL INTERPRET THIS INFORMATION AS HE SEES FIT WITH THE UNDERSTANDING THAT THE OWNER AND HIS AGENTS DISCLAIM ALL RESPONSIBILITY FOR ITS ACCURACY AND /OR SUFFICIENCY. THE CONTRACTOR SHALL ASSUME LIABILITY FOR ANY DAMAGE TO EXISTING WORKS.
 - SITE PLAN INFORMATION TAKEN FROM SURVEY BY BARICH GRENKIE SURVEYING LTD. DRAWING NUMBER 18-2386, DATED AUGUST 15, 2018.
 - THIS/ THESE PLANS/ IS/ ARE TO BE USED FOR SERVING AND GRADING ONLY, FOR BUILDING LOCATION REFER TO THE SITE PLAN.

- MUNICIPAL APPROVAL OF THESE DRAWINGS IS FOR MATERIAL AND COMPLIANCE WITH CITY/TOWN STANDARDS AND PROVINCIAL SPECIFICATIONS AND STANDARDS ONLY. APPROVAL AND INSPECTION OF THE WORKS BY THE CITY/TOWN STAFF DOES NOT CERTIFY THE LINE AND GRADE OF THE WORKS NOR RELIEVE THE CONTRACTOR OF CERTIFICATION OF ALL WORKS BY THE OWNER'S ENGINEER.
- ALTERNATE MATERIALS MAY BE ACCEPTABLE PROVIDED WRITTEN APPROVAL HAS FIRST BEEN OBTAINED FROM HALDIMAND COUNTY AND THE ENGINEER.

- THE APPROVAL OF THIS PLAN DOES NOT EXEMPT THE OWNER'S BONDED CONTRACTOR FROM THE REQUIREMENTS TO OBTAIN THE VARIATION PERMITS/APPROVALS NORMALLY REQUIRED TO COMPLETE A CONSTRUCTION PROJECT, SUCH AS, BUT NOT LIMITED TO THE FOLLOWING:
 - ROAD CUT PERMITS
 - SEWER PERMITS
 - APPROACH APPROVAL PERMITS
 - RELOCATION OF SERVICES
 - COMMITTEE OF ADJUSTMENT ENCROACHMENT AGREEMENTS

- PRIOR TO CONSTRUCTION THE CONTRACTOR MUST:
 - CHECK AND VERIFY ALL DIMENSIONS AND EXISTING ELEVATIONS WHICH INCLUDE BUT ARE NOT LIMITED TO THE BENCHMARK ELEVATIONS, EXISTING SERVICE CONNECTIONS, EXISTING INVERTS AND REPORT FINDING IN WRITING TO THE ENGINEER.
 - OBTAIN ALL UTILITY LOCATES AND REQUIRED PERMITS AND LICENSES.
 - VERIFY ALL FINISHED FLOOR ELEVATIONS AND BASEMENT FLOOR ELEVATIONS WHICH MY APPEAR ON THESE PLANS COMPLY WITH THE FINAL ARCHITECTURAL DRAWINGS.
 - CONFIRM ALL DRAWINGS USED FOR CONSTRUCTION ARE OF THE MOST RECENT REVISION.

- THE CONTRACTOR IS RESPONSIBLE FOR CONTACTING THE ENGINEER 48 HOURS PRIOR TO THE COMMENCING SITE WORKS TO ARRANGE FOR INSPECTION. THE ENGINEER SHALL DETERMINE THE EXTENT OF INSPECTION AND TESTING REQUIRED FOR CERTIFICATION OF THE UNDERGROUND SERVICE INSTALLATION AS MANDATED BY THE ONTARIO BUILDING CODE DIVISION C, PART 1, SECTION 1.2.2. GENERAL REVIEW. FAILURE TO MAKE SUITABLE ARRANGEMENTS FOR INSPECTION WILL LEAD TO POST CONSTRUCTION TESTING AND INSPECTION AS DETERMINED BY THE ENGINEER. THE COSTS OF WHICH INCLUDING ANY DELAYS IN CONSTRUCTION SHALL BE BORNE BY THE CONTRACTOR. FULL PAYMENT FOR UN-INSPECTED WORKS MAY BE WITHHELD UNTIL THE COMPLETION OF THE POST CONSTRUCTION INSPECTION AND TESTING TO THE SATISFACTION OF THE ENGINEER.

- INSPECTION BY THE OWNER'S ENGINEER IS FOR CERTIFICATION AND GENERAL CONFORMANCE PURPOSES AND DOES NOT CERTIFY LINE AND GRADE OR IMPLY AN ASSURANCE OF QUALITY CONTROL. THE CONTRACTOR SHALL BE RESPONSIBLE TO ENSURE THE INSTALLATION OF THE WORKS TO PROPER LINE, GRADE AND QUALITY TO CURRENT INDUSTRY STANDARDS.
- ANY UTILITY RELOCATIONS AND RESTORATIONS DUE TO THE DEVELOPMENT TO BE UNDERTAKEN AT THE EXPENSE OF THE OWNER/DEVELOPER AND SHALL BE COORDINATED BY THE CONTRACTOR.
- ALL RESTORATIONS AND RECONSTRUCTIONS SHALL BE COMPLETED TO MATCH EXISTING CONDITIONS OR BETTER AND ARE TO BE PERFORMED TO THE SATISFACTION OF THE ENGINEER AND THE CITY/TOWN STANDARDS.

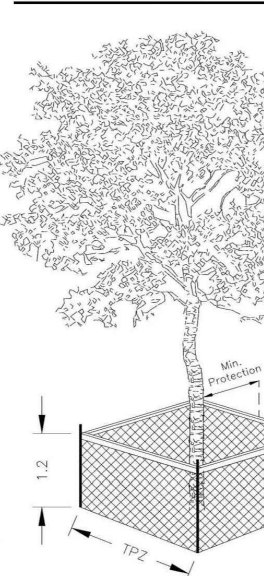
- SERVICING CONTRACTOR TO MAINTAIN A "CONFINED TRENCH CONDITION" IN ALL SEWER AND WATERMAIN INSTALLATION TRENCHES.
- THE SITE SERVING CONTRACTOR SHALL TERMINATE ALL SERVICES 1.0m FROM THE BUILDING FACE.
- BLASTING WILL BE PERMITTED.

- GRADING NOTES
- GENERAL GRADING
 - ALONG ADJOINING PROPERTIES GRADE TO MEET EXISTING OR PROPOSED ELEVATIONS WITH SLOOED SLOPES (MIN. 3% TO 1%) AND/OR RETAINING WALLS AS SPECIFIED.
 - ALL RETAINING WALLS, MAHWAYS, CURBS, ETC. SHALL BE PLACED AT A MIN. OF 0.45m OFF THE PROPERTY LINE. ALL WALLS 1.0m OR HIGHER SHALL BE DESIGNED BY A P.E.N.G.
 - SHOULD A RETAINING WALL BE REQUIRED, THE TOP OF WALL ELEVATIONS SHALL BE SET 150mm ABOVE THE PROPOSED SIDE YARD SWALES.
 - RETAINING WALLS 0.6m IN HEIGHT OR GREATER REQUIRE CONSTRUCTION OF A FENCE OR GUARD RAIL AT THE TOP OF THE REAR OF THE WALL. GUARDS FOR RETAINING WALLS SHALL BE DESIGNED AND CONSTRUCTED IN ACCORDANCE WITH THE REQUIREMENTS OF EXTERIOR GUARDS AS CONTAINED IN THE ONTARIO BUILDING CODE.
 - TOP OF FOUNDATION WALLS FOR BUILDINGS SHALL BE 150mm (MIN) ABOVE FINISHED GRADE.
 - DRIVEWAY SLOPES SHALL NOT BE LESS THAN 2% AND NOT MORE THAN 7.0% REVERSED SLOPED DRIVEWAYS IN NEW DEVELOPMENTS ARE NOT PERMITTED.
 - IF GRADING IS REQUIRED ON LANDS ADJACENT TO THE DEVELOPMENT WHICH ARE NOT OWNED BY THE DEVELOPER, THEN THE DEVELOPER MUST OBTAIN WRITTEN PERMISSION FROM THE ADJACENT PROPERTY OWNER TO ALLOW THE DEVELOPER TO GRADE ON THE ADJACENT LANDS, OTHERWISE RETAINING WALLS MUST BE USED.
 - THE WRITTEN PERMISSION REQUIRED FROM THE ADJACENT LANDOWNER SHALL BE OBTAINED PRIOR TO ENTERING THE LANDS. SHOULD PERMISSION NOT BE OBTAINED OR IS WITHDRAWN PRIOR TO COMMENCING THE WORK, THEN THE DEVELOPER SHALL LIMIT HIS ACTIVITIES TO THE LIMITS OF THE DEVELOPMENT SITE.
 - DRIVEWAY AND DRIVEWAY APPROACHES SHALL BE LOCATED SUCH THAT HYDRO VAULTS AND OTHER STREET FURNITURE ARE A MIN. OF 1.2m FROM THE PROJECTIONS OF THE OUTSIDE GARAGE WALLS.
 - ANY CHANGES IN GRADES AND CATCH BASINS REQUIRE THE APPROVAL OF THE CITY'S MANAGER OF DEVELOPMENT ENGINEERING.
 - ALL DRIVEWAYS FROM PROPERTY LINES FOR THE FIRST 7.5m SHALL BE WITHIN 5% MAXIMUM GRADE, THEREAFTER, ALL DRIVEWAYS SHALL BE WITHIN 10% MAXIMUM GRADES.
 - SLOPES OF SWALES FOR BOTH "BACK TO FRONT" AND "SPILT" DRAINAGE SHALL BE NO LESS THAN 2.0% GRADE AND NO GREATER THAN 3.0% GRADE (3:1 SLOPE).
 - WHEN MATCHING TO EXISTING PROPERTIES WHERE A 2.0% GRADE CANNOT BE ACHIEVED, A 1.5% GRADE IS PERMITTED, PROVIDED A 150mm SUBDRAIN IS INSTALLED BELOW THE BOTTOM OF THE SWALE AND DRAINED TO A SUITABLE OUTLET WITH A MINIMUM 0.3m COVER OVER THE SUBDRAIN, OR OTHER MITIGATION MEASURES.
 - MINIMUM GRADE FOR W/ARP-AROUND SWALE IN BACKYARDS SHALL BE 1.0%.
 - UNLESS OTHERWISE NOTED, THE GROUND BETWEEN PROPOSED ELEVATIONS ON SIDE LOTS SHALL BE GRADED IN A STRAIGHT LINE.
 - GARAGE FLOOR ELEVATIONS TO BE SET 0.3m HIGHER THAN BACK OF WALK, UNLESS OTHERWISE SPECIFIED.
 - ALL FILL PLACED ON LOTS SHALL BE COMPACTED TO A MINIMUM 90% S.P.D. (UNLESS OTHERWISE RECOMMENDED BY THE GEOTECHNICAL ENGINEER). ALL MATERIAL SHALL BE PLACED IN LIFTS NOT EXCEEDING 300mm.

- BACKYARD GRADING
 - DEFINITION: "REQUIRED BACK YARD" SHALL MEAN THE LESSER OF THE DISTANCE REGULATED BY THE ZONING BY-LAW OR 6.0m.
 - THE MAXIMUM 5.0% RESTRICTION SHALL NOT APPLY TO THE SIDES OF A SWALE ALONG THE BACK OF THE LOT, PROVIDING THE TOTAL WIDTH OF THE SWALE DOES NOT EXCEED 1.0m ON EACH LOT.
 - WHERE THE 5.0% RESTRICTION ON BACKYARD GRADES RESULTS IN ELEVATION DIFFERENCES BETWEEN DIFFERENT PROPERTIES, RETAINING WALLS SHALL BE CONSTRUCTED ALONG THE SIDES AND THE BACK OF THE LOT. 3:1 SLOPES CAN REPLACE THE WALLS WHERE THE DIFFERENCE IN ELEVATION IS LESS THAN 0.3m.
 - GENERALLY, SLOPES SHALL BE PLACED ON THE LOWER LOT, WHEREAS RETAINING WALLS SHALL BE PLACED ON THE HIGHER LANDS.
 - THERE IS NO CONTROL ON THE STEEPNESS OF THE SLOPES IN SIDE YARDS, FRONT YARDS, AND BACK YARDS OUTSIDE THE AREAS DENIED IN ITEM "A" ABOVE, PROVIDING THE SLOPES ARE STABLE FOR THE SOILS OF THE AREA (3:1 MAXIMUM).

- SILTATION AND EROSION CONTROL
 - SILTATION CONTROL BARRIERS SHALL BE PLACED AS DETAILED.
 - ALL SILTATION CONTROL MEASURES SHALL BE CLEANED AND MAINTAINED AFTER EACH RAINFALL AS DIRECTED AND TO THE SATISFACTION OF THE OF CITY/TOWN AND/OR THE CONSERVATION AUTHORITY.
 - ADDITIONAL SILT CONTROL LOCATIONS MAY BE REQUIRED AS DETERMINED BY THE ENGINEER, THE CITY/TOWN AND/OR THE CONSERVATION AUTHORITY.

Tree Protection and Preservation Specifications No. S22A



Detail TP-1 - Tree Protection Detail

Trunk Diameter (DBH)	Minimum Tree Protection Zone (MTPZ) Diameter Required	Critical Root Zone (CRZ) Diameter Required
< 10 cm	1.8 m	1.8 m
11 - 40 cm	2.4 m	4.0 m
41 - 50 cm	3.0 m	5.0 m
51 - 60 cm	3.6 m	6.0 m
61 - 70 cm	4.2 m	7.0 m
71 - 80 cm	4.8 m	8.0 m
81 - 90 cm	5.4 m	9.0 m
91 - 100 cm	6.0 m	10.0 m

NOTES

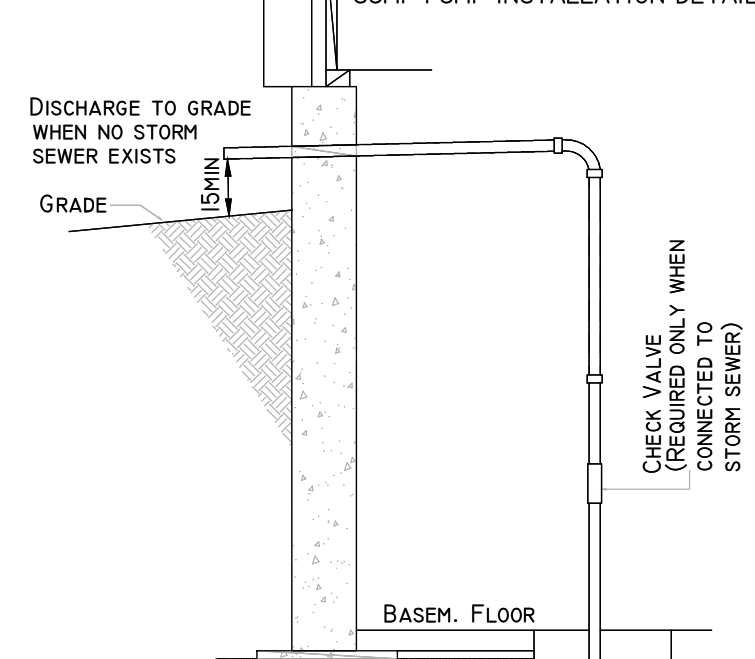
- The roots of a tree can extend from the trunk to approximately 2-3 times the diameter of the drip line.
- Diameter at breast height (DBH) is the measurement of tree trunk taken at 1.4 metres above ground.
- Minimum Tree Protection Zone and Critical Root Zone distances are to be measured from the outside edge of the tree trunk towards the drip line and may be limited by existing ground surface, provided the existing ground surface remains intact throughout the construction work and no subject to Section 8 of this specification.
- Any work being performed beyond the Minimum Tree Protection Zone shall be subject to Section 8 of this specification.

TREE PROTECTION BARRIER

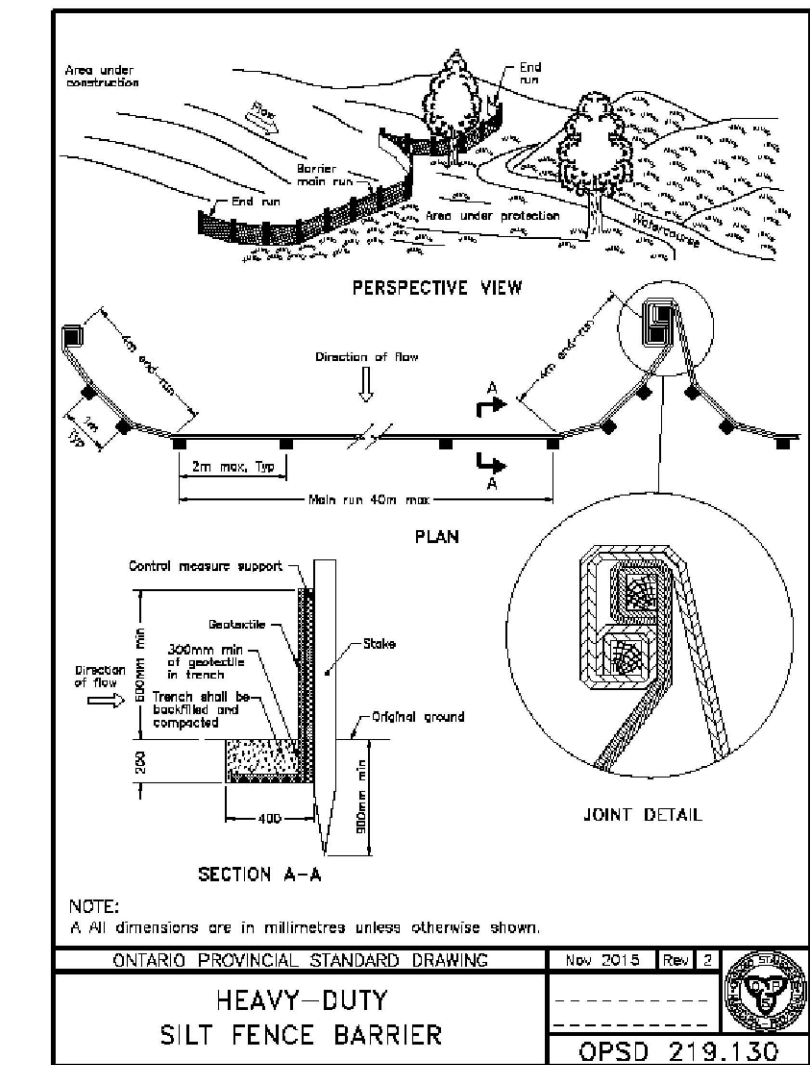
- The required barrier is a 1.2 metre (4 ft) high orange plastic with snow fencing on 2" x 4" frame. Where orange plastic with snow fencing creates a connection to a building, a snow fence with reflective tape can be used.
- Tree protection barriers are to be erected prior to the commencement of any construction or grading activities on the site and are to remain in place throughout the entire duration of the project. The barriers shall be maintained erect and in good repair throughout the duration of construction operations with breaks and unsecured sections replaced immediately. Tree protection may be set back or removed prior to the completion of construction without written authorization from the Manager of Urban Forestry or designate.
- All supports and bracing used to safely secure the barrier should be located outside the MTPZ. All supports and bracing should minimize damage to roots.
- When water fill or material material must be temporarily located near a MTPZ, a wooden barrier with slats must be used to ensure no material enters the MTPZ.
- No materials or fill may be placed within the MTPZ.
- Equipment or vehicles shall not be parked, stored, repaired, or refueled within the MTPZ.
- No construction activity, grade changes, surface treatment or construction of any kind is permitted within the MTPZ without written authorization from the Manager of Urban Forestry or designate.
- A permanent Minimum Tree Protection Zone sign (see Table 1.2.3 - Minimum Tree Protection Zone Sign) must be placed at the end of the Tree Protection Zone where it will be visible by persons entering the site. Minimum size must be 10" x 14".

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September 2020

SUMP PUMP INSTALLATION DETAIL



NOTE: SERVICING CONTRACTOR TO INSTALL STORM SEWER, STORM SERVICE CONNECTION AND RISER SECTION COMPLETE WITH CLEANOUT ABOVE GRADE LINE.

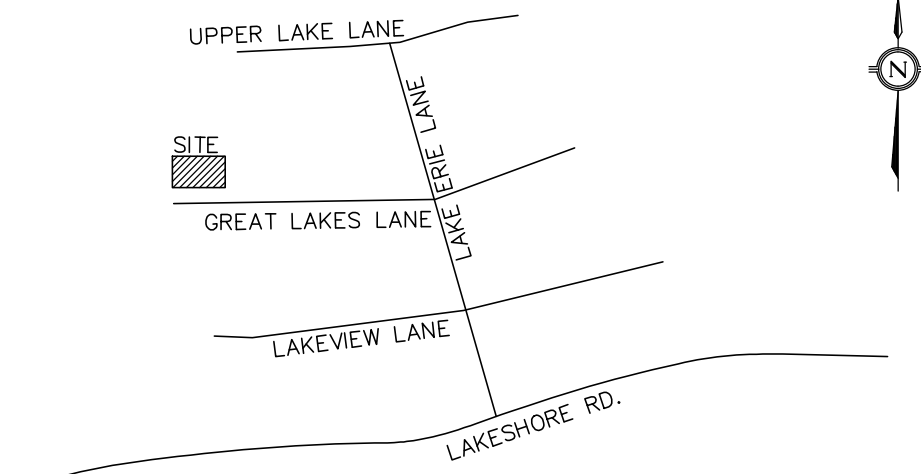


MUNICIPAL ADDRESS: 7 GREAT LAKES LANE, SELKIRK
LEGAL DESCRIPTION: PART OF THE EAST HALF OF LOT 9, CONCESSION 1 (GEOGRAPHIC TOWNSHIP OF RAINHAM) HALDIMAND COUNTY ZONING A

SITE STATISTICS	BYLAW	PROPOSED
LOT AREA	1855 m ²	2743.40 m ² (EX)
LOT FRONTAGE	30.0 m	61.03 m (EX)
LOT COVERAGE	N/A	6.8%
COTTAGE		
FRONT YARD	13.0 m	13.05 m
REAR YARD	13.0 m	15.13 m
SIDE YARD	3.0 m	6.84 m
HEIGHT OF ROOF	11 m	6.92 m
GARAGE		
REAR YARD	1.0 m	4.32 m
SIDE YARD	1.2 m	24.30 m
HEIGHT OF ROOF	6.5 m	4.00 m



KEY MAP



NOT TO SCALE

ADDRESS: 7 GREAT LAKES LANE, SELKIRK

SITE AND GRADING PLAN OF
PART OF THE EAST HALF
OF LOT 9, CONCESSION 1
(GEOGRAPHIC TOWNSHIP OF RAINHAM)
HALDIMAND COUNTY
BARICH GRENKIE SURVEYING LTD.
A DIVISION OF GEOMAPLE
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METRIC

DISTANCES AND ELEVATION SHOWN ON THIS PLAN ARE IN METRES AND CAN BE CONVERTED TO FEET BY DIVIDING BY 0.3048

LEGEND

DT	DENOTES DECIDUOUS TREE
CT	DENOTES CONIFEROUS TREE
---	DENOTES SUBJECT LANDS BOUNDARY
---	DENOTES DEED LINE
---	DENOTES LOT LINE
---	DENOTES FENCE LINE
X	DENOTES TREE TO BE REMOVED
N-E-S-W	DENOTES NORTH-EAST-SOUTH-WEST
100.00	DENOTES EXISTING ELEVATION
100.00	DENOTES PROPOSED ELEVATION
---	DENOTES PROPOSED TREE PROTECTION
---	DENOTES PROPOSED SILT FENCE
---	DENOTES DOWN SPOUT WITH SPLASH PAD
SP	DENOTES SUMP PUMP LOCATION

ELEVATION NOTE

ELEVATIONS ARE REFERRED TO THE CANADIAN GEODETIC VERTICAL DATUM (CGVD-1928:1978) AND ARE DERIVED FROM HALDIMAND COUNTY BENCHMARK No. 0011965U217 HAVING AN ELEVATION OF 184.612 m.

0	07/14/2020	JMH	ISSUED FOR REVIEW		
NO.	DATE	BY	REVISIONS		
DESIGN	JMH	CHK'D	EWA	DATE JULY 14, 2020	
DRAWN	JMH	CHK'D	EWA		

Scale 1:200

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Scale 1:200
5 0 5 15 METRES

APPROVALS

STAMP	
LICENSED PROFESSIONAL ENGINEER M. FATHI 100086843 JULY 14, 2020 PROVINCE OF ONTARIO	

Barich Grenkie Surveying Ltd. 297 HWY No. 8 (UNIT 101) - STONEY CREEK, ON (905) 662-6767	DWN BY: JMH CHK BY: EWA JOB No. 18-2386
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A DIVISION OF GEOMAPLE
CLIENT: JOSEPH ANACLETO

PROJECT NAME: PROPOSED DWELLING
7 GREAT LAKES LANE, SELKIRK

TITLE: SITE AND GRADING PLAN

PROJECT No. 18-2386 DRAWING No. 18-2386-SGP